



District OR-1: Home of the Panthers!



Community Engagement Meeting

Palmyra High School and Bennet Elementary School



Facilities Discussion: May 2nd and May 17th, 2022



District OR-1: Home of the Panthers!



District OR-1

Board of Education

- Dean Busch: Board Member
 - Jaimi Calfee: Board Vice-President
 - Brandon Desh: Board President
 - Clayton Maahs: Board Member
 - Josh Penterman: Board Member
 - Lisa Wilen: Board Member
-
-



District OR-1: Home of the Panthers!



Meeting Purpose:

The focus for tonight's meeting is how to best collaboratively and proactively address (and discuss) student enrollment increases, community growth, and future facility needs.

Focus Questions:

Community feedback is welcomed.

- Strengths of Proposed Options
- Concerns / Questions related to Proposed Options
- What information is still needed?
- What projects (at what cost) should be included in a future bond proposal?





District OR-1: Home of the Panthers!



District Vision Statement

District OR-1 commits to a course of action providing continued academic growth through a curriculum that recognizes limitless potential and inspires faith in a positive future for every student. With a sense of community ownership and responsibility, we will remain fiscally accountable and attentive to current and future high-tech facility and staffing needs.



District OR-1: Home of the Panthers!



What is our story?

- **District OR-1 Bond and Facilities Construction/ Renovation History:**
 - **1980:** Original Bennet Elementary School Built / Major High School Expansion
 - **1999:** Northwest addition to Bennet Elementary School/ North addition to the High School
 - **2016:** Bennet Elementary Renovation and South Addition and High School Renovation and Southwest Addition
 - **2018:** Olson Complex Completed





District OR-1: Home of the Panthers!

What is our story?



- Growing district
- Strong community support
- Outstanding students and staff
- Two communities engaged in increasing a collective unity
- Pride in our history and community identities
- High educational and extracurricular expectations
- Outstanding evidence of student achievement
- Strong core values
- Fiscally responsible, yet progressive in our thinking



Question: How do we: Honor the past, maximize the present, and embrace the future?



District OR-1: Home of the Panthers!

Current Reality



- Current independent data predicts increased student enrollment and future community district growth
- Dealing with limited resources
- Current and future expansion of local / nearby infrastructure (South beltway project)
- Proximity to Lincoln
- Increased diversity of student needs (SPED, poverty, gender, mental health issues)
- Increased cost of inflation, labor, and materials
- Increasing interest rates and overall costs
- Current eligible employee labor shortage (drivers, teachers, etc.)
- Diversity of interests and opinions (conservative and progressive)
- Current facilities are exceeding or nearing capacity at both buildings
- Local vs. government control / property tax concerns
- Questions about the future (valuation fluctuation and uncertainty)
- Focused on similar goals





District OR-1: Home of the Panthers!



Rationale for Projected Timeline

- Current strategic and facility planning has been in process for quite some time.
- Interest and bond rates continue to climb
- Labor, materials, and other costs continue to rise
- Student needs are here now





District OR-1: Home of the Panthers!

Facility Planning Summary: Updated April 25, 2022

Facilities Planning Summary



- **August 2019:**
 - Initiated Facility Audit with Clark & Enersen
- **June 2020:**
 - Facility Audit complete
- **July 2020 through October 2020:**
 - Review of Facility Audit by administration and board
- **October 2020:**
 - Began facility planning meetings to address growth both now and in the future
- **November 2020 through May 2022:**
 - 34 total meetings where facilities planning was either sole focus or an item discussed
 - 7 facility committee meetings
 - 8 special board meetings for facilities planning
 - 13 regular meetings with facilities planning discussed
 - 6 community engagement meetings gathering input on facilities planning





District OR-1: Home of the Panthers!



What are our NEEDS?

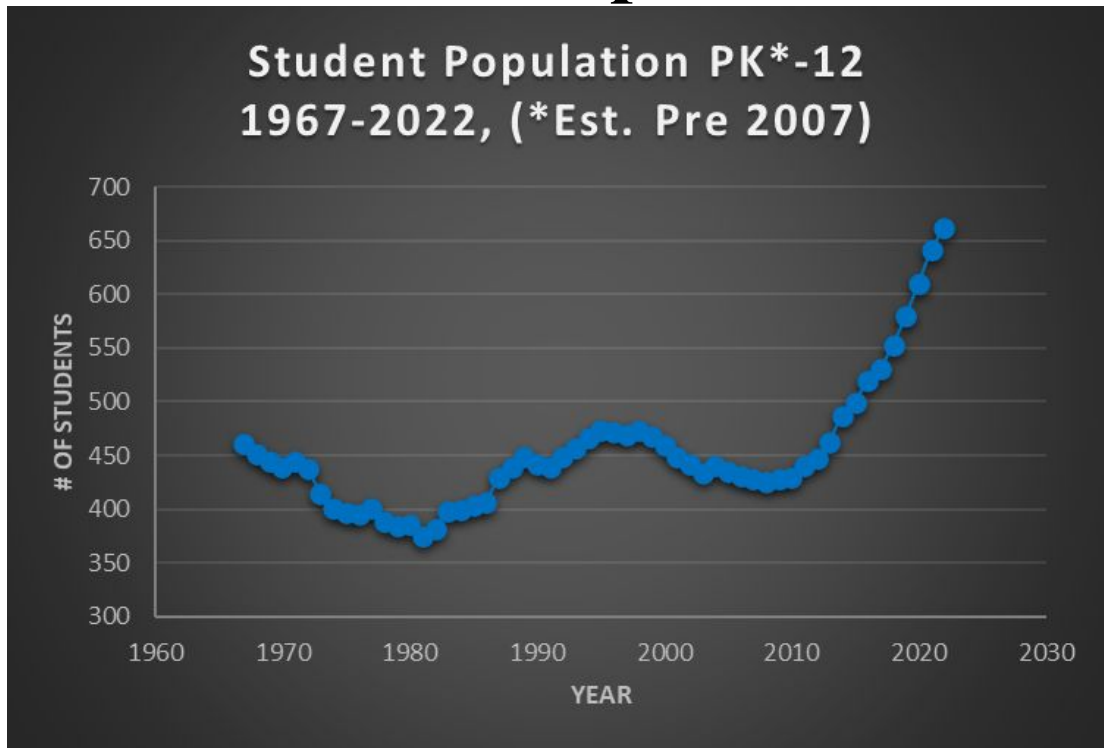
- Increase current classroom and multi-use activity area space
 - Effectively meet the increased capacity needs of our buildings.
 - Meet increased student needs (special education, poverty, academic and behavioral interventions, other special programs.
 - Provide academic support, relevant job skills, and educational programming that best benefits our local communities and families.
 - Maximize functionality of existing spaces
-
-



District OR-1: Home of the Panthers!



Historic Student Population Growth

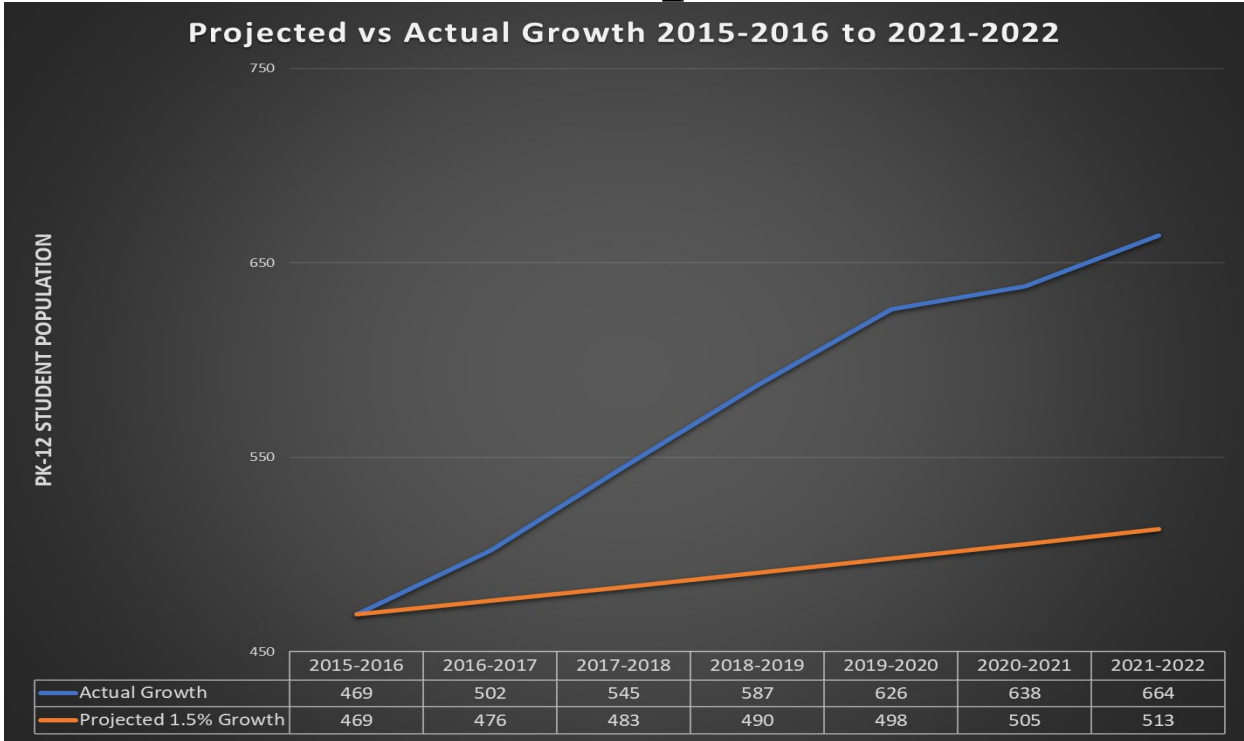




District OR-1: Home of the Panthers!



Recent Student Population Growth



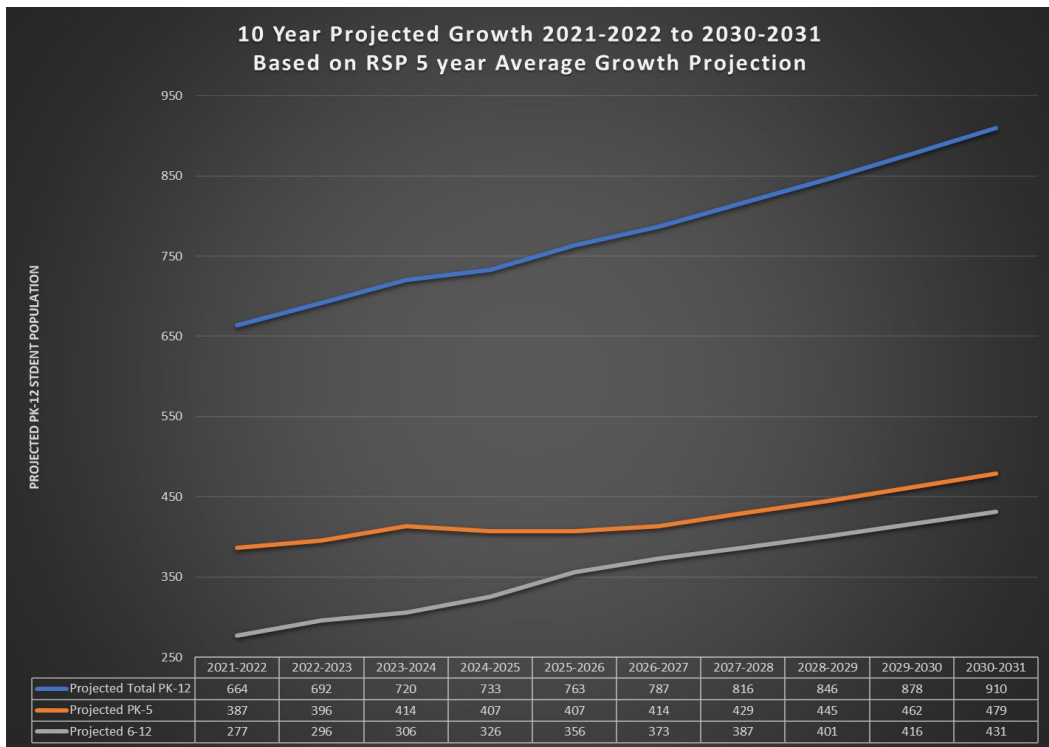


District OR-1: Home of the Panthers!



10 Year Student Population Growth Projection

What factors
contribute to this
rapid change?





District OR-1: Home of the Panthers!

Projected District Student Enrollment for 2022-2023:

Pre-K - 12th grade

Bennet Elementary: Pre-K- 5

- Pre-school: 60
- Kindergarten: 58
- 1st Grade: 60
- 2nd Grade: 57
- 3rd Grade: 63
- 4th Grade: 56
- 5th Grade: 49

Bennet Elementary Projected Total: 403

Palmyra High School: 6-12

- 6th Grade: 47
- 7th grade: 44
- 8th grade: 49
- 9th grade: 46
- 10th grade: 35
- 11th grade: 42
- 12th grade: 39
- Palmyra High School Projected Total: 302

2022-2023 Projected District Total (Pre-K- 12): 705





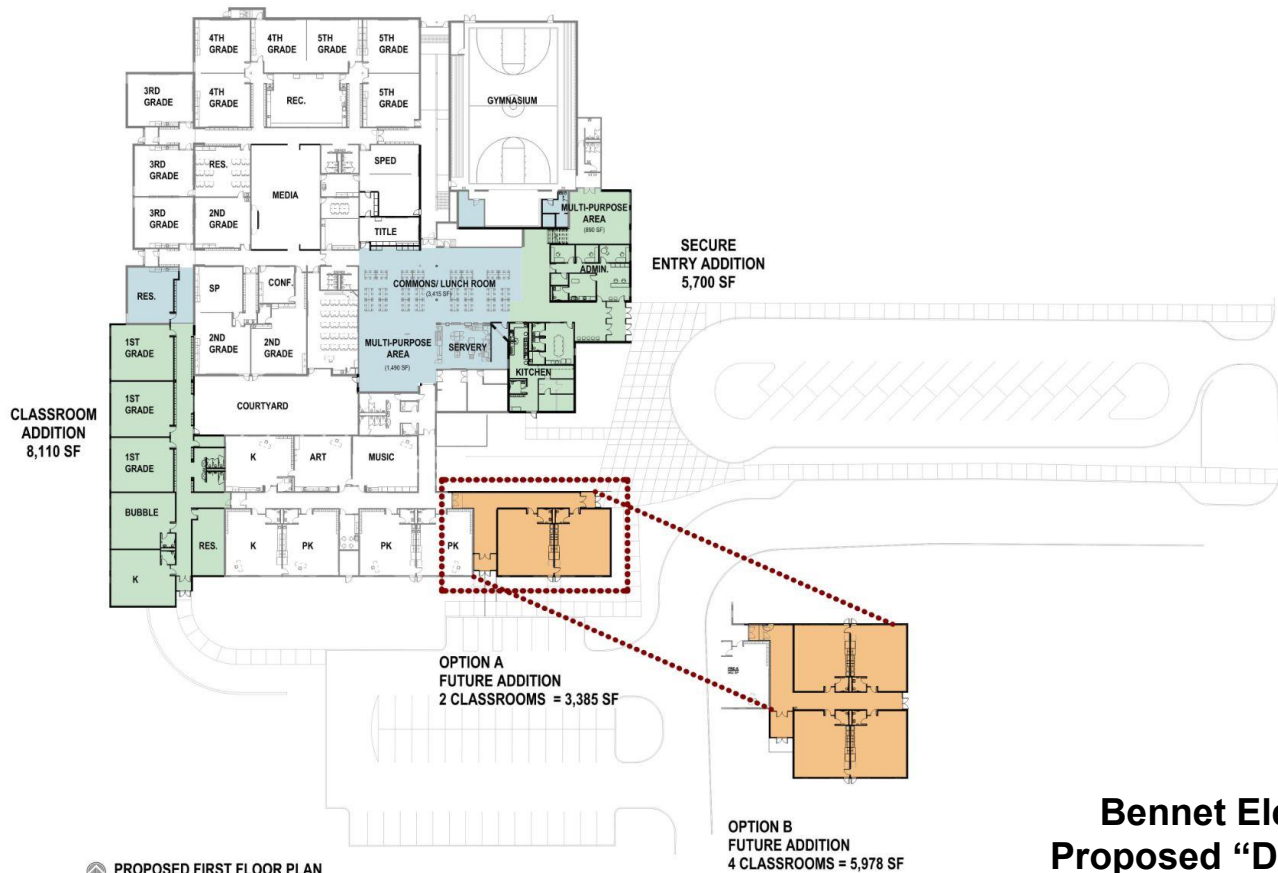
District OR-1: Home of the Panthers!



Current Building Expansion Options to Consider

Bennet Elementary School:





Bennet Elementary Proposed "Draft" Option



District OR-1: Home of the Panthers!



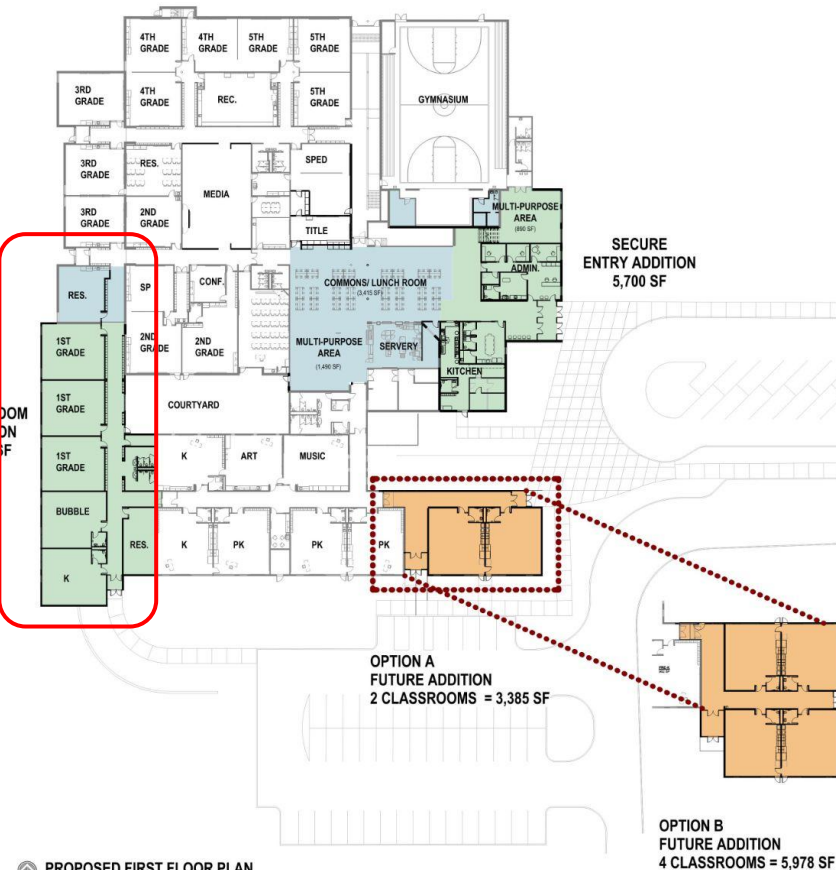
Highlights of the Bennet “Draft” Option

- Five New / One Renovated Classrooms: These rooms will be utilized to add additional grade level sections (eventually three sections of Pre-K-5) and provide additional space for special purpose teachers and programs like (Title 1, Special Education, OT/PT, Speech, and Before, Behavior Intervention, and After School Rec programs).
- Expanded kitchen area and student multi-purpose activity area
- Expanded office area to include a conference room, expanded nurse’s office, etc.
- Expanded multi-purpose activity area near the southeast edge of the gym
- Remodel and enhance the current gymnasium and stage area (add baskets, expand flooring, repurpose stage area for storage, etc.)
- Possibility of upgrading the playground
- *Future possibilities include adding additional classrooms to the southeast part of the building.

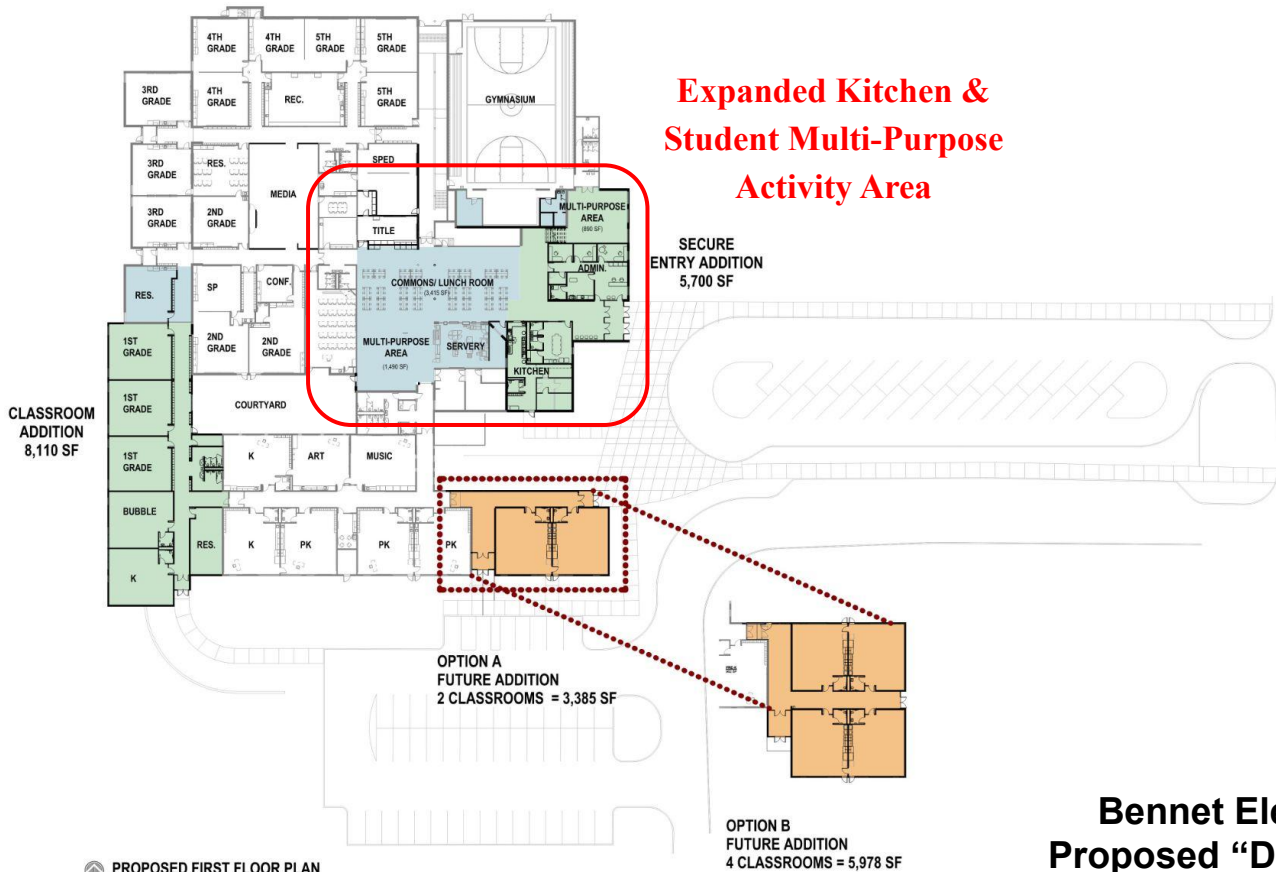


**Five New
Classrooms & One
Renovated
Classrooms**

CLASSROOM
ADDITION
8,110 SF



**Bennet Elementary
Proposed "Draft" Option**



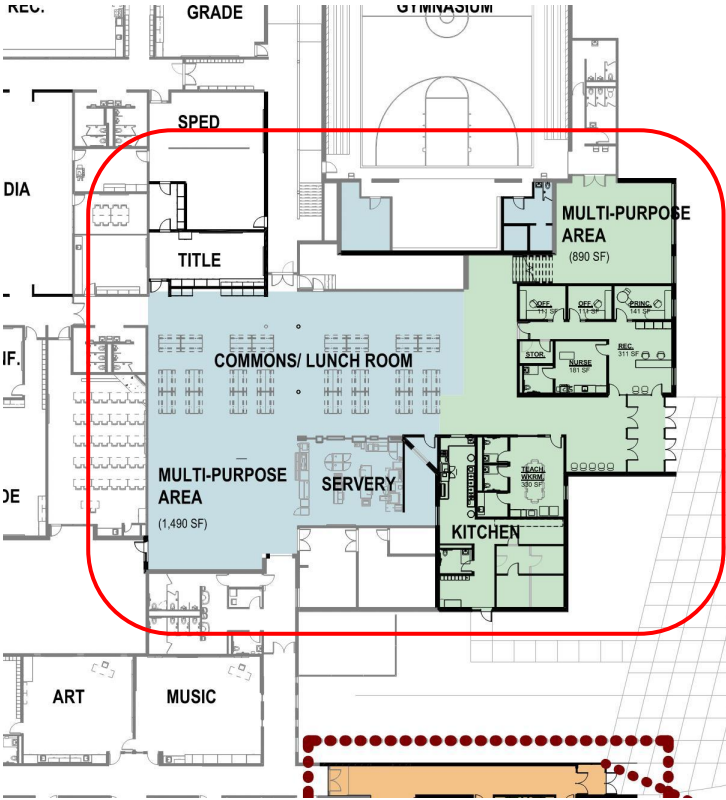
Bennet Elementary Proposed “Draft” Option



District OR-1: Home of the Panthers!



**Expanded Kitchen &
Student Multi-Purpose
Activity Area**



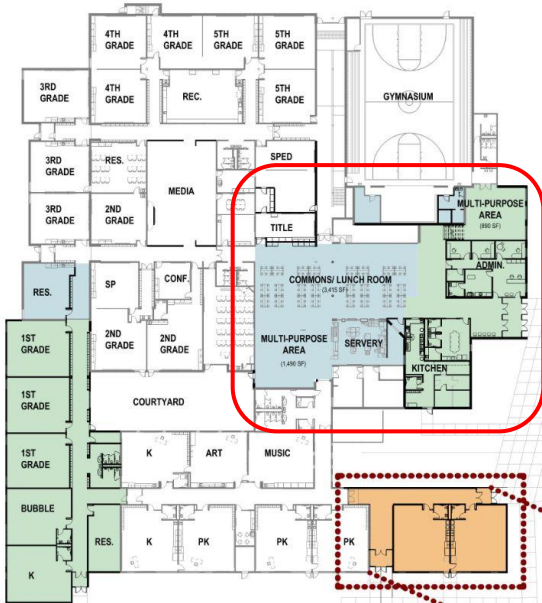
**Expanded
Multi-Purpose
Activity Area**

**Expanded
Office Area**

**Bennet Elementary
Proposed “Draft” Option**



**Expanded Kitchen &
Student Multi-Purpose
Activity Area**



**Expanded
Multi-Purpose
Activity Area**

**Expanded
Office Area**

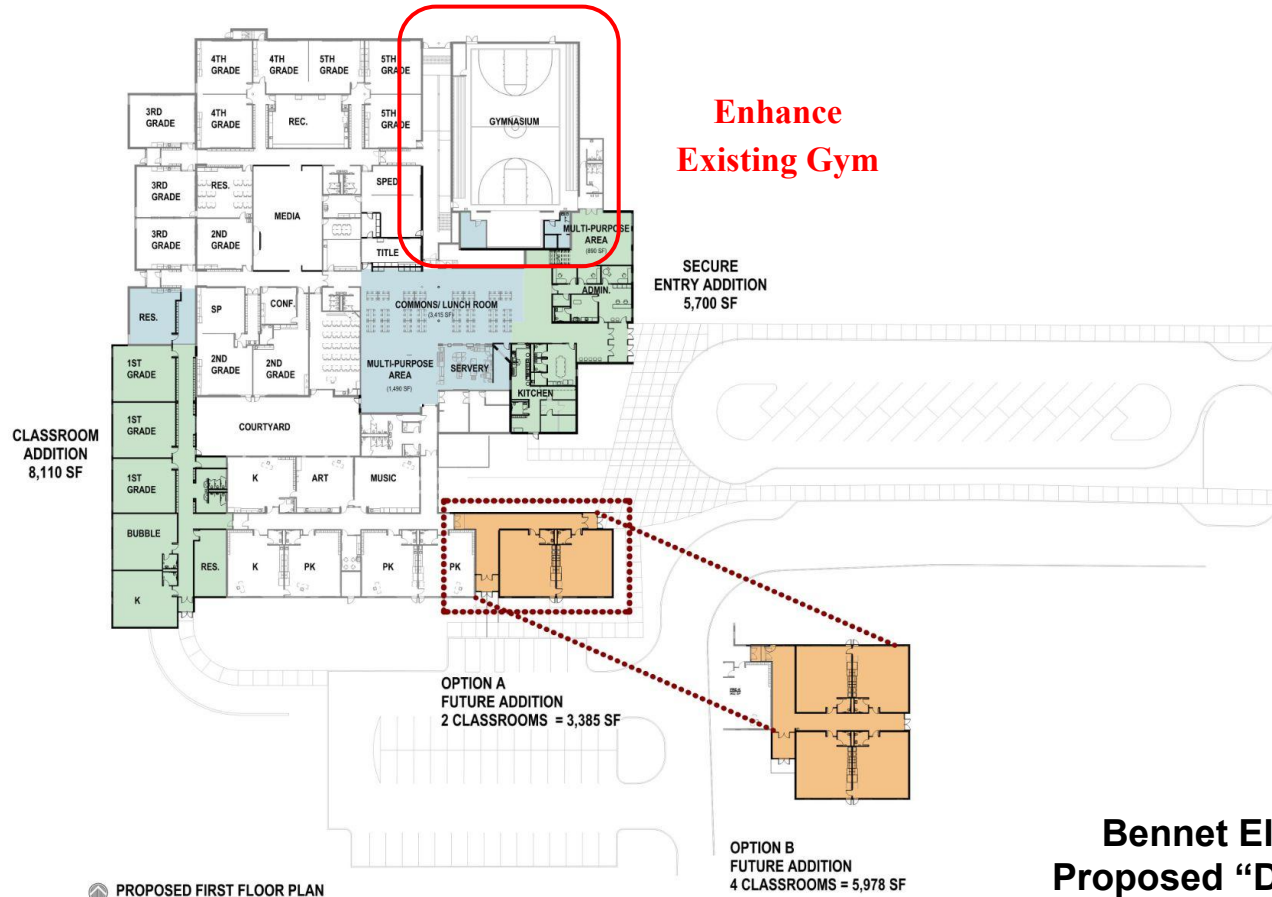
OPTION A
FUTURE ADDITION
2 CLASSROOMS = 3,385 SF

OPTION B
FUTURE ADDITION
4 CLASSROOMS = 5,978 SF

 **PROPOSED FIRST FLOOR PLAN**
SCALE 1" = 20'-0"

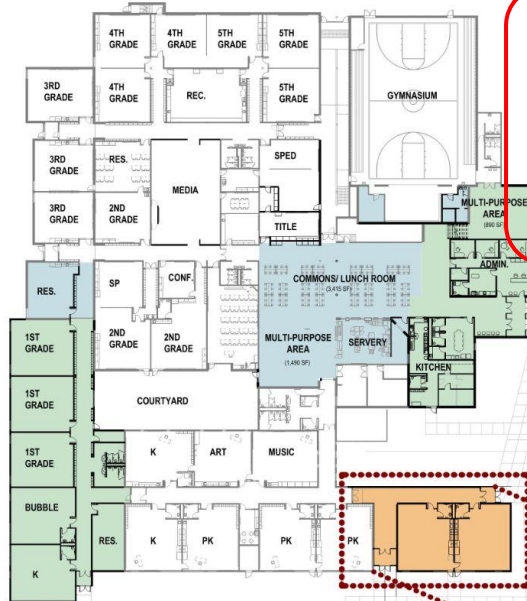


**Bennet Elementary
Proposed "Draft" Option**





CLASSROOM
ADDITION
8,110 SF



SECURE
ENTRY ADDITION
5,700 SF

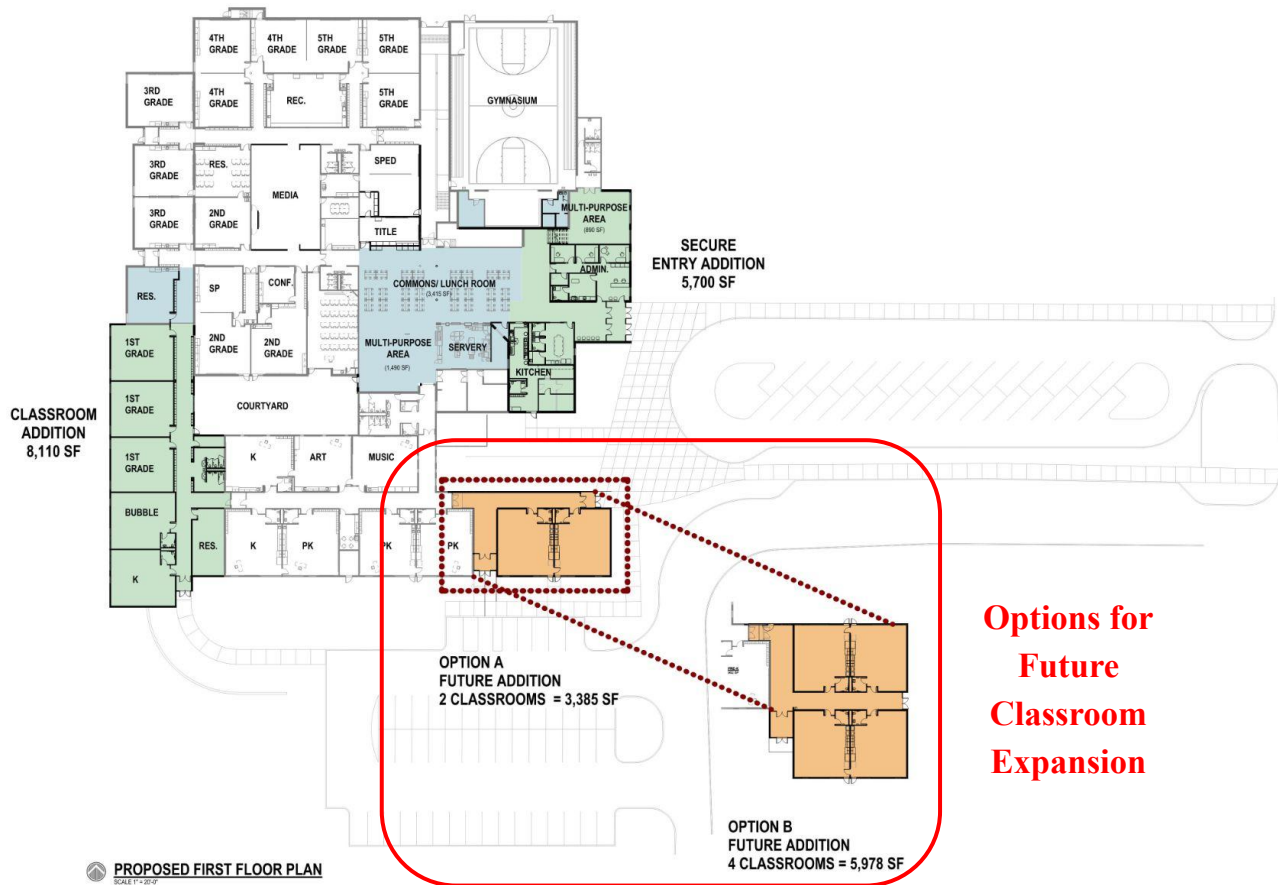
Playground
Renovations

OPTION A
FUTURE ADDITION
2 CLASSROOMS = 3,385 SF

OPTION B
FUTURE ADDITION
4 CLASSROOMS = 5,978 SF

PROPOSED FIRST FLOOR PLAN
SCALE 1" = 20'-0"

Bennet Elementary
Proposed "Draft" Option



**Options for
Future
Classroom
Expansion**



District OR-1: Home of the Panthers!



Cost Projections

Current Estimated Cost Projection for Bennet Elementary School is:

Please note that this can change according to current market factors.

- **Bennet New Classroom/Commons/Multipurpose - 13,810 sf x \$350/sf = \$4,833,500**
 - **Bennet Renovate Commons - 5,895 sf x \$200/sf = \$1,179,000**
 - **Soft Costs/ Fees = \$1,322,750**
 - **Bennet Total = \$7,335,250**
-
-



District OR-1: Home of the Panthers!



Building Expansion Options to Consider

Palmyra High School





District OR-1: Home of the Panthers!



Highlights of the High School Option #7

Additional room configurations: With the addition of the sixth grade for the 2022-2023 school year, the building will be increasing in numbers.

- **Possible Room Allocations**

- 3 sections of Sixth Grade
- 4 Content Area Classrooms: (Math, Science, History, English)
- 2 Special Education Room/ Student Success Center
- 1 student intervention room for classroom / behavioral interventions
- 1 classroom/ conference / community room (located on the first floor). This could be utilized as a classroom as student enrollment increases.
- Extra elevator space and extra restrooms
- “Shell space” for future expansion at the “garden” level
- Expanded commons area and main office area - to include counselor, admin, and conference room in the same space

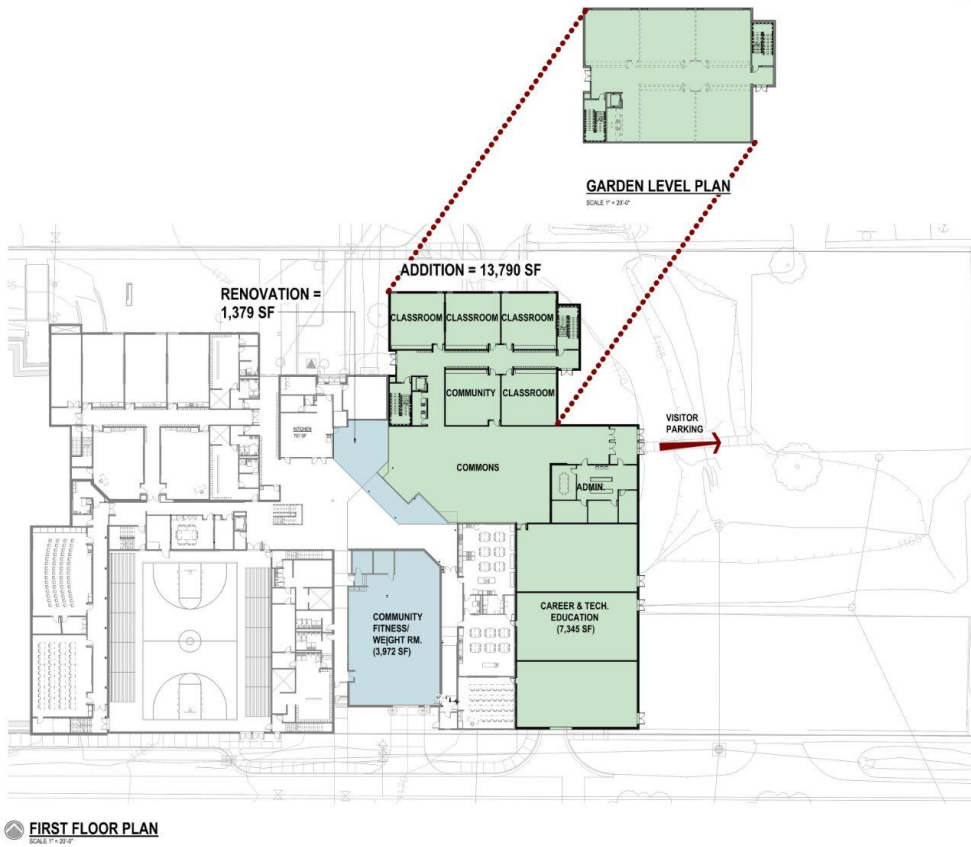
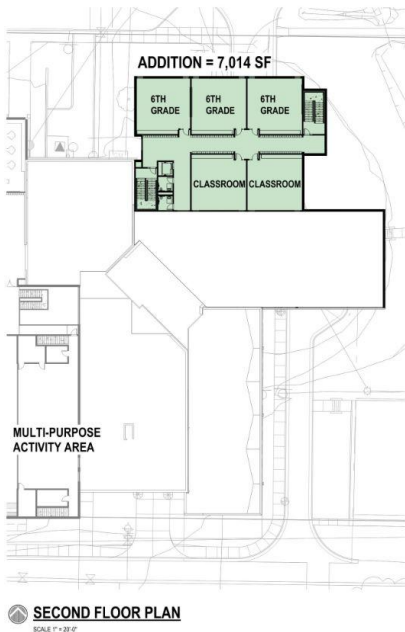
- **Career Technical Education (CTE) Expansion**

- Repurpose Current IT “shop area” into a community based fitness center/weight room with a secure entry with access 24/7.
- Repurpose the current weight deck to a wrestling/ fitness room / multi purpose activity center
- Add an enhanced CTE Area with a metal, wood, and ag locations
 - [The importance of CTE jobs](#)



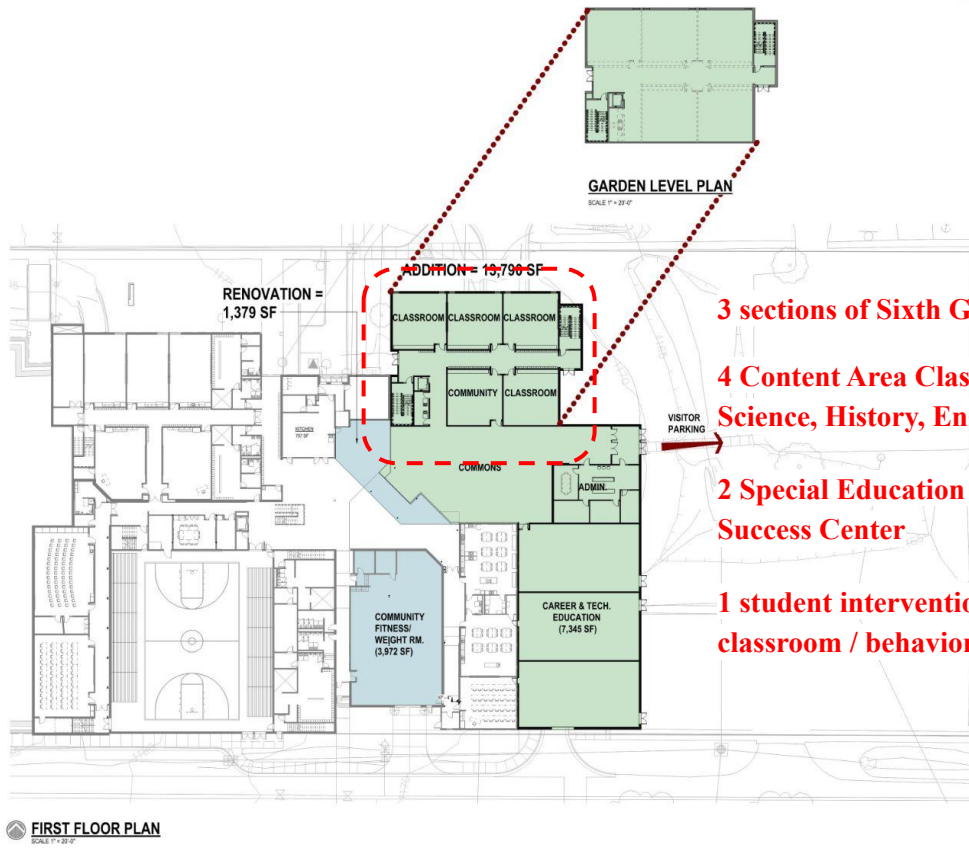
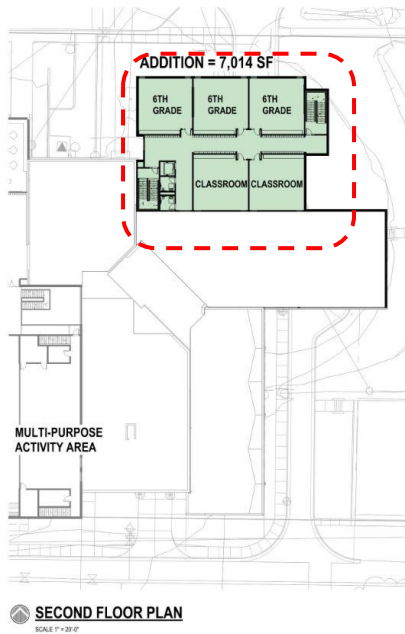


District OR-1: Home of the Panthers!





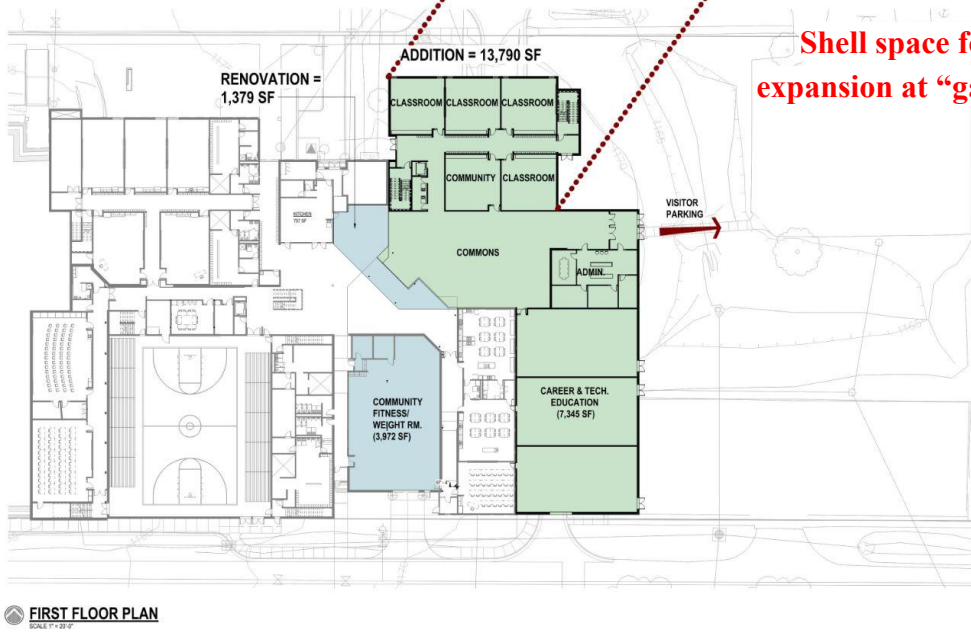
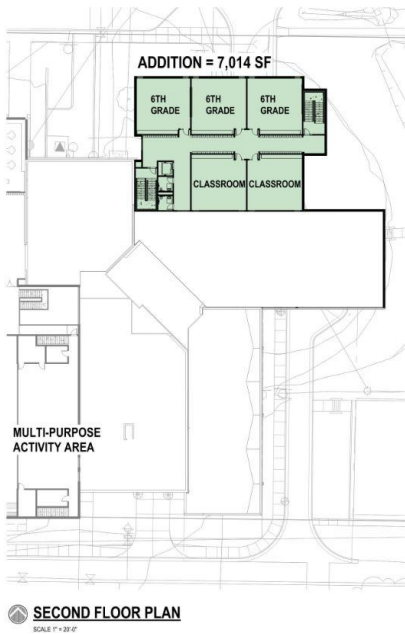
District OR-1: Home of the Panthers!



- 3 sections of Sixth Grade
- 4 Content Area Classrooms: (Math, Science, History, English)
- 2 Special Education Room/ Student Success Center
- 1 student intervention room for classroom / behavioral interventions



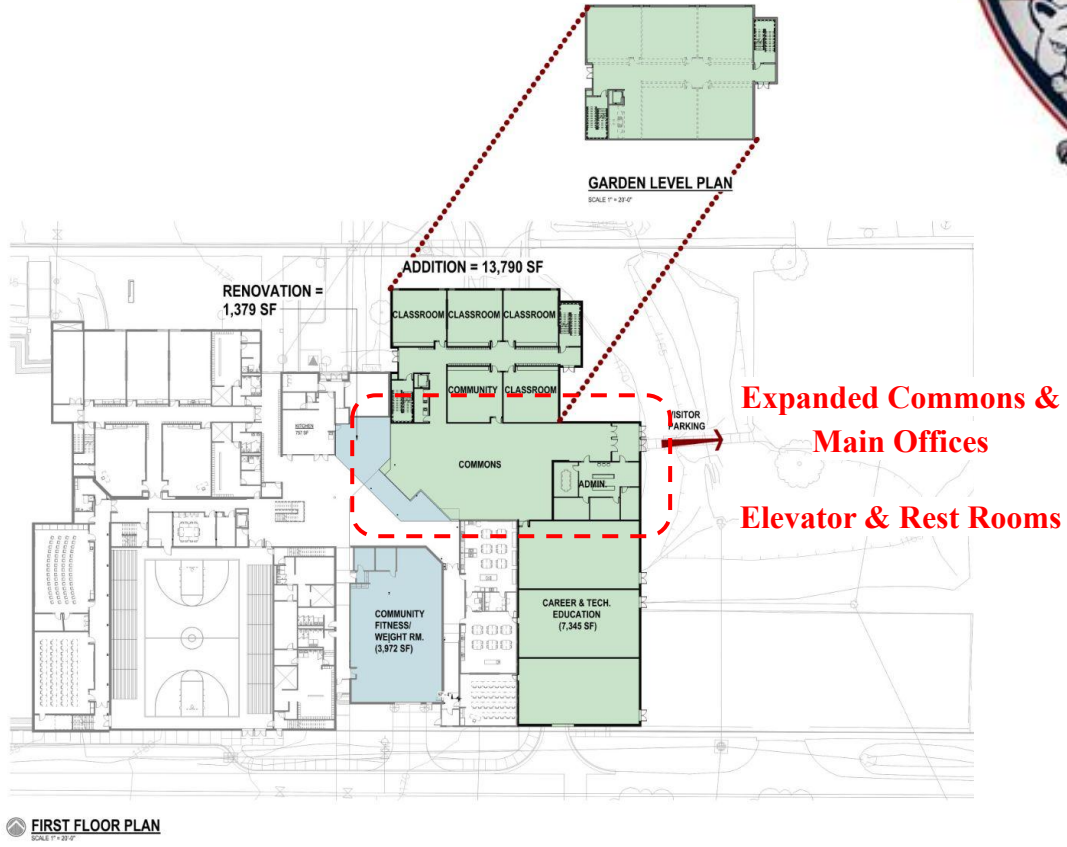
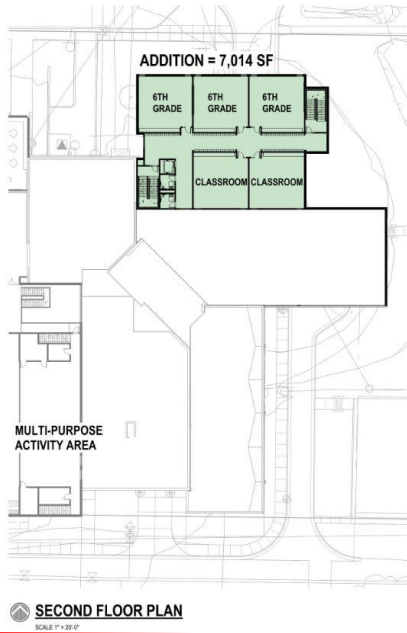
District OR-1: Home of the Panthers!



Shell space for future expansion at "garden" level

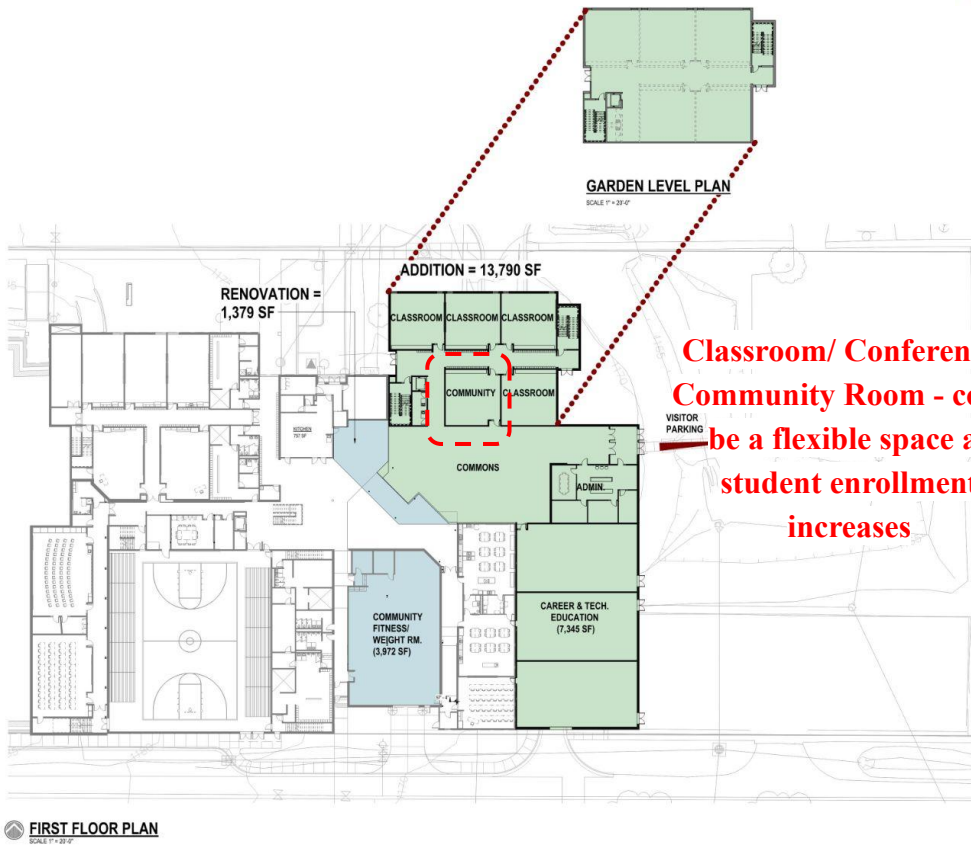
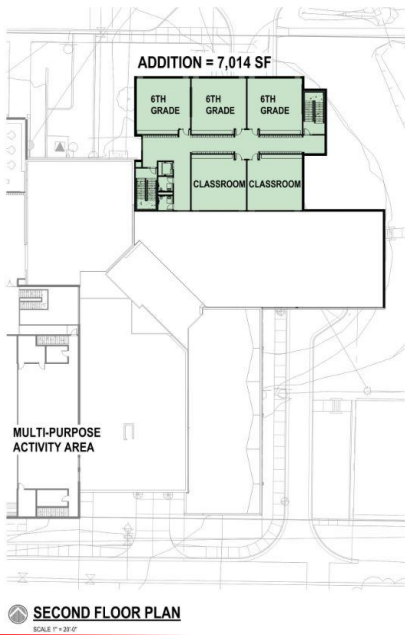


District OR-1: Home of the Panthers!



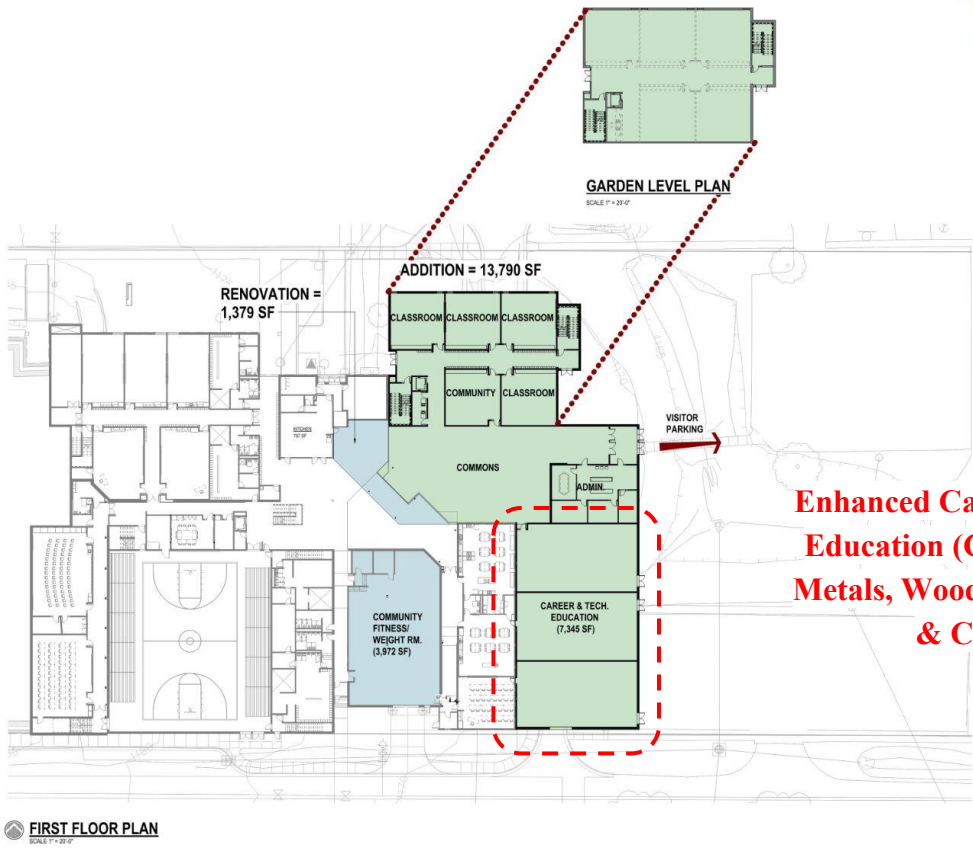
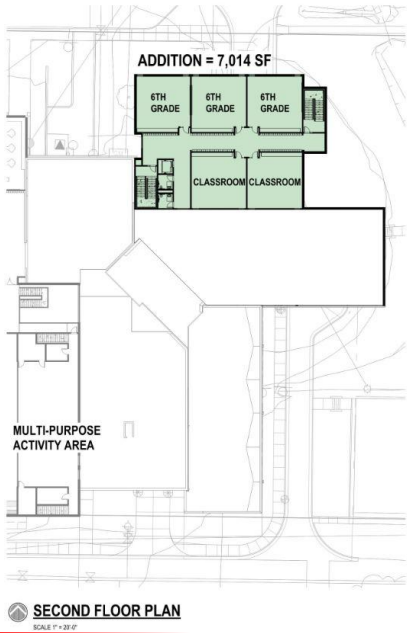


District OR-1: Home of the Panthers!





District OR-1: Home of the Panthers!



Enhanced Career Technical Education (CTE) Area for Metals, Woods, & Ag Shops & Classes



District OR-1: Home of the Panthers!

Example Photos of a Possible CTE Expansion





District OR-1: Home of the Panthers!

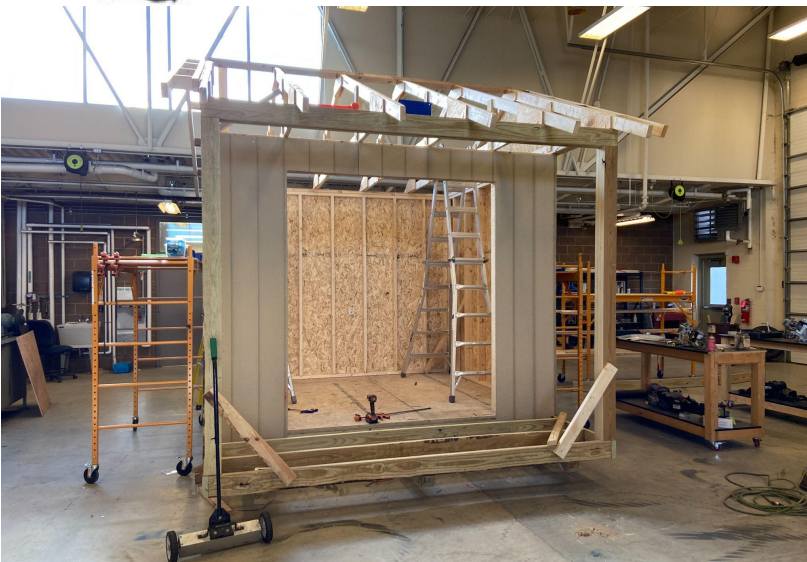
Example Photos of CTE Expansion





District OR-1: Home of the Panthers!

Example Photos of CTE Area





District OR-1: Home of the Panthers!

Example Photos of CTE Area Expansion





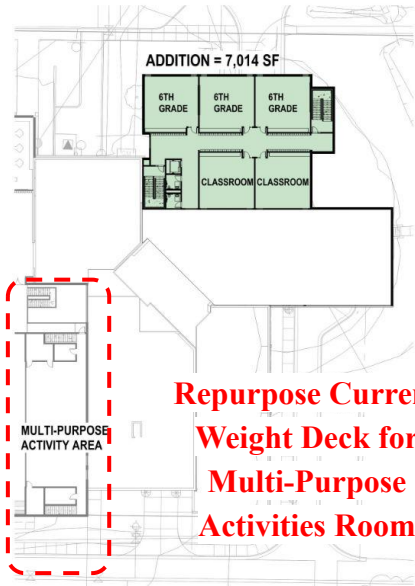
District OR-1: Home of the Panthers!

Example Photos of Agricultural Inside Area



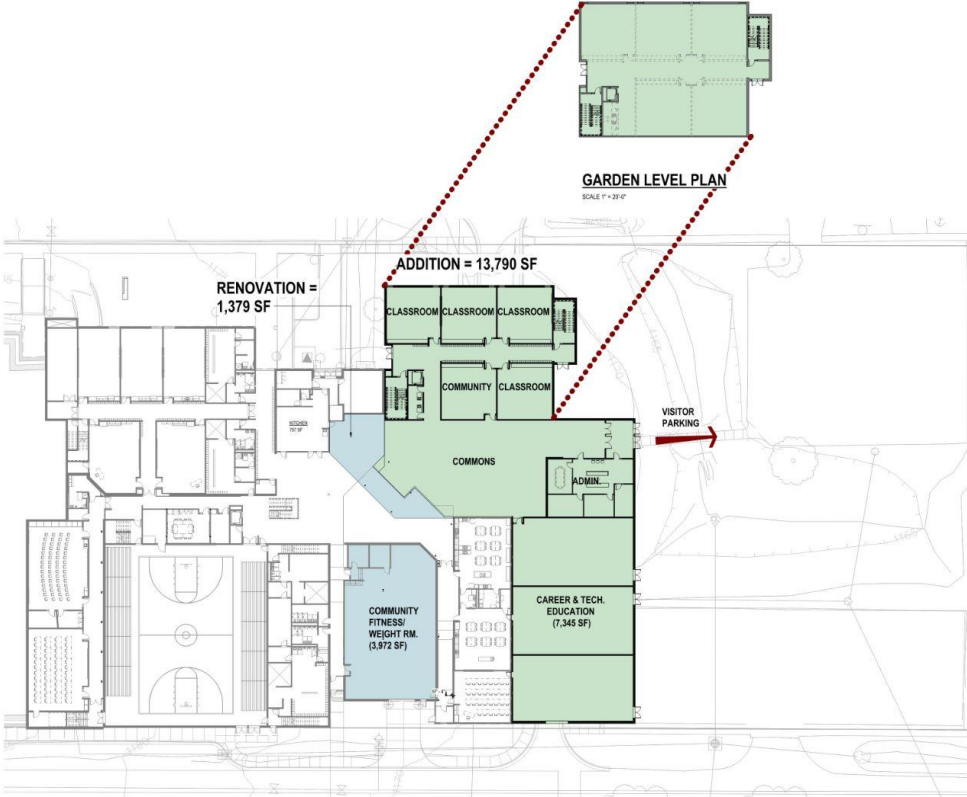


District OR-1: Home of the Panthers!



SECOND FLOOR PLAN
SCALE 1" = 20'-0"

**Repurpose Current
Weight Deck for
Multi-Purpose
Activities Room**



FIRST FLOOR PLAN
SCALE 1" = 20'-0"

GARDEN LEVEL PLAN
SCALE 1" = 20'-0"



District OR-1: Home of the Panthers!



Example Photos of Renovated Multi-Purpose Space





District OR-1: Home of the Panthers!

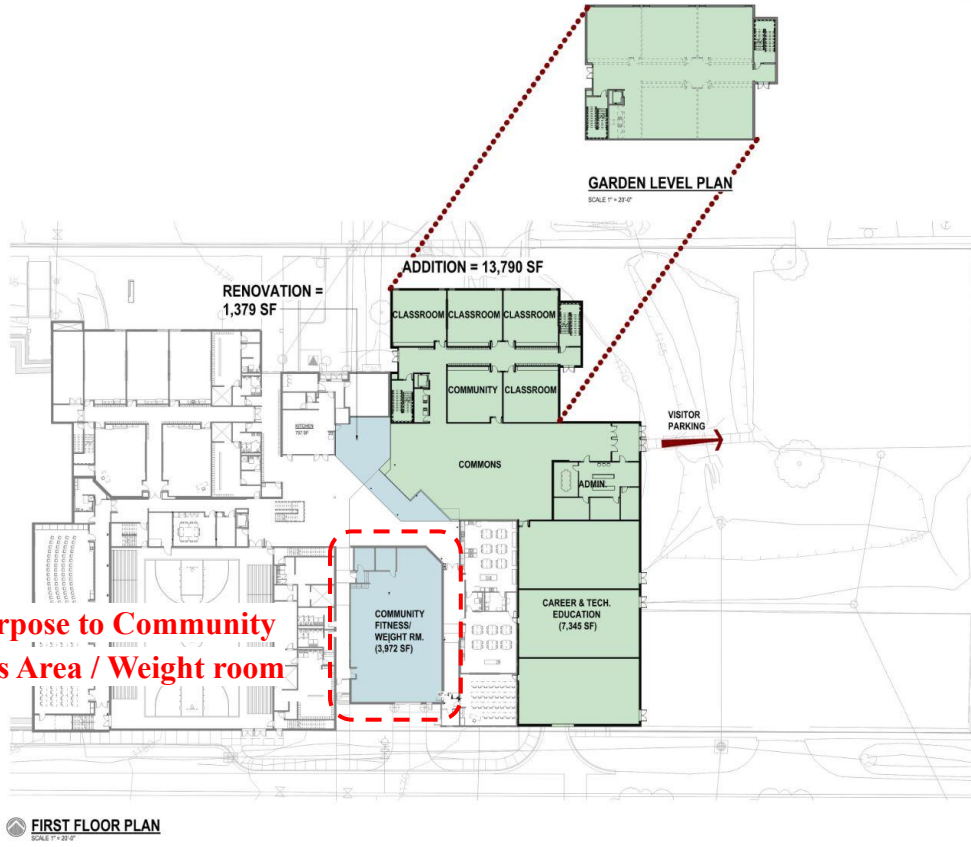
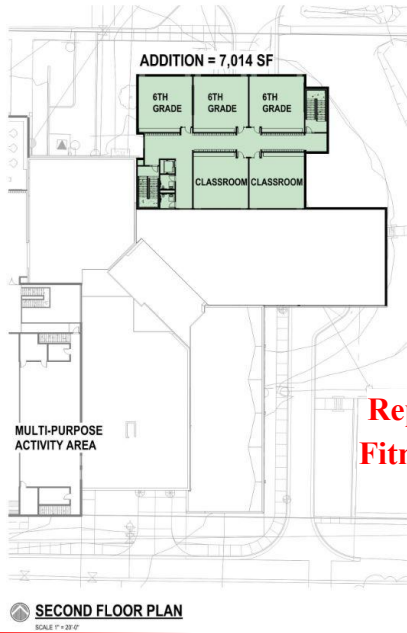


Example Photos of Renovated Multi-Purpose Space





District OR-1: Home of the Panthers!



Repurpose to Community
Fitness Area / Weight room



District OR-1: Home of the Panthers!



Example Photos of a Possible “Community Usage” Fitness Area





District OR-1: Home of the Panthers!



Career Technical Education (CTE) Strategies to Develop

- Build local business partnerships
 - Contact local businesses to verify job and career skill priorities
 - Business Leader Survey
 - Analyze community impact of having enhanced facilities in close proximity.
 - Consider adult education possibilities.
-
-



District OR-1: Home of the Panthers!

Cost Projections



Current Estimated Cost Projection for Palmyra High School is:

Please note that this can change according to current market factors.

- **Palmyra New Classroom/Commons and CTE Expansion- 28,149 sf
x \$350/sf = \$9,852,150**
 - **Palmyra Renovation / Shell Cost/ - 8,393 sf x \$200/sf = \$1,678,600**
 - **Palmyra Shop to Fitness Center Renovation: 3,972 sf x100sf=
\$397,200**
 - **Soft Costs/ Fees = \$2,624,149**
 - **Palmyra Total = \$14,552,099**
-
-



District OR-1: Home of the Panthers!



Cost Projections

Current Estimated Overall Cost of the Project:

- **Overall construction total estimate = \$17,940,450**
 - Bennet Elementary: \$6,012,500
 - Palmyra: \$11,927,950
- **Design/Soft Costs: \$3,946,899**
 - Bennet Soft Costs/ Fees = \$1,322,750
 - Palmyra Soft Costs/ Fees = \$2,624,149
- **Estimated Total Cost: \$21,887,349** for possible bond resolution

Please note: These are current projected costs. Due to the current construction climate, this total could be higher.



District OR-1: Home of the Panthers!



What will this cost me as a taxpayer of the district?

How does this impact me financially?

FYI: This information is based on the 2020-2021 District OR-1 Taxable Valuation of **\$651,257,260** and **\$580,358,281** District Taxable Valuation for new bonds voted on after January 2, 2022. This information is calculated using a **3.75% (20 year)** and a **4.0% (25 year)** APR Bond Rate.

Project Scope	Term	\$ Increase	Levy Increase	Taxes per Residential \$100,000 per year at market value (100%)	Taxes for Agricultural \$100,000 per year @72%LB 2: \$69,444 @ 50%
<i>\$18,000,000</i>	<i>20 years (3.75%) 25 years (4.0%)</i>	<i>\$1,160,000 \$950,000</i>	<i>20.0 cents 16.37 cents</i>	<i>\$200.00 \$164.00</i>	<i>\$138.89 \$113.89</i>
<i>\$20,000,000</i>	<i>20 years (3.75%) 25 years (4.0%)</i>	<i>\$1,305,000 \$1,080,000</i>	<i>22.5 cents 18.6 cents</i>	<i>\$225.00 \$186.00</i>	<i>\$156.25 \$129.17</i>
<i>\$22,000,000</i>	<i>20 years (3.75%) 25 years (4.0%)</i>	<i>\$1,450,000 \$1,210,000</i>	<i>25.0 cents 20.8 cents</i>	<i>\$250.00 \$208.00</i>	<i>\$173.61 \$144.44</i>
<i>\$24,000,000</i>	<i>20 years (3.75%) 25 years (4.0%)</i>	<i>\$1,600,000 \$1,340,000</i>	<i>27.6 cents 23.1 cents</i>	<i>\$276.00 \$231.00</i>	<i>\$191.67 \$160.42</i>



District OR-1: Home of the Panthers!



Proposed Future Timeline

- **May 2, 2022** - Community Engagement Meeting at 6 pm at Palmyra High School
 - **May 9, 2022** - School Board Meeting with Public Comment at 7 pm at Palmyra High School
 - **May 17, 2022** - Community Engagement Meeting - May 17, 2022 at 6pm at Bennet Elementary
 - **June 13, 2022** - Consideration and potential approval of Bond Resolution by Board for August 9, 2022 special election
 - **August 9, 2022** - Special election (if bond resolution approved by board)
 - **August 2022 through Early 2023** - Final Design by Clark & Enersen (if bond passes)
 - **Early 2023** - Receive construction bids and begin construction
 - **Early 2023 through August 2024** - Projects under construction
 - **August 2024** - Project complete for beginning of school year 2024-25
-
-



District OR-1: Home of the Panthers!



What are the next steps?

- Continued Community Engagement:
 - [District OR-1.Upcoming Community Meetings.](#)
April / May 2022





District OR-1: Home of the Panthers!



Community Engagement Feedback Questionnaire.April 2022

This information is also posted on our
school website.

Questions!





District OR-1: Home of the Panthers!



Thank you again for coming tonight!

Your support and active engagement is
greatly appreciated!

Go Panthers!

